

Chapter 2.0

Narrative of Key Plan Activities

2.1 Introduction and Purpose

For the purposes of this discussion, key plan activities refer to those elements of the Central Area Action Plan II that are integral components to **successfully** implementing the priorities of the community-at-large. In essence, these activities serve as the fountainhead **for** achieving the **future vision** for the Central Area. The goal of this chapter is not to provide every detailed recommendation that encompasses a key plan activity. That can be found in the plan's accompanying "Adoption & Approval" matrix package. Rather, the effort here is to broadly describe the intent of the activity **and** the elements which comprise it.

Because of the outreach and planning **structure** of the **Central Area Action Plan II**, the key plan activities break out into three types: (1) those that are geographically-based i.e., 12th Avenue, Madison-Miller, (2) those that include multiple topics i.e., transportation, land use, and urban design integration, and (3) those that focus on specific **plan** issues, i.e., economic development, housing, and **human** development. The following summarizes the key **plan** activities for the **Central Area**.

GEOGRAPHICALLY-BASED PLAN ACTIVITIES

- 12th Avenue/South Capitol Hill Urban Center Village Node
 - . Madison-Miller Neighborhood Master Plan
- 23rd and Jackson and Jackson Place
- 23rd and Union- Crossroads of the Central Area

MULTI-ELEMENT PLAN ACTIVITIES

- 23rd Avenue Corridor
 - . Central Gateway

ISSUE-BASED PLAN ACTIVITIES

- The Boulevard- Improving **Martin** Luther King, Jr. Way
 - . Central Area East-West Corridors
- Housing- Central Housing Resource Center
- Economic Development- Recapitalizing Central Area Capital Fund Program
 - . Human Development- Central Area Health and Social Service Alliance

2.2 12th, Avenue/South Capitol Hill Urban Center Village Node

12th Avenue envisions its neighborhood as a thriving **mixed-use** residential and commercial area set near the intersection of several diverse neighborhoods, and major economic and institutional centers. The success of the 12th Avenue **community** hinges upon establishing the street as a “boulevard” friendly to pedestrians and bicyclists, yet still accommodating to **motorists** and transit riders. The vision for the future also, foresees a strong and vital **local** retail and service economy. 12th will be bordered by attractive, three-to five-story buildings, and a mix of lively **uses** at the street level. Shops, service businesses, bookstores, and cafes will offer a comfortable and inviting streetfront that caters to residents, **area** workers, and university students.

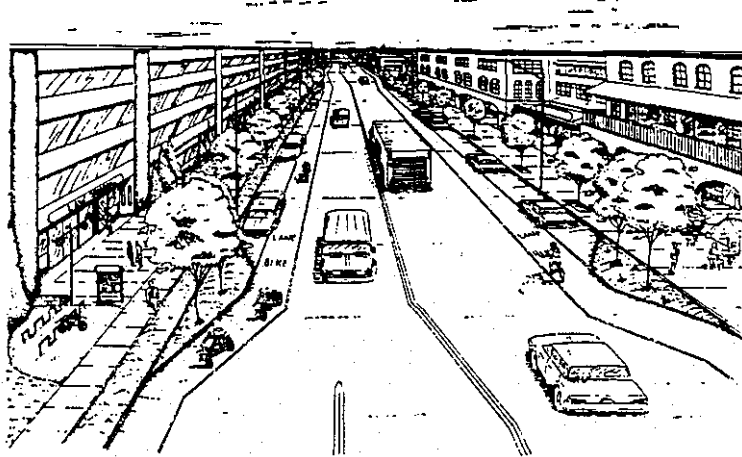


Figure 2
Illustration of vision for 12th Avenue

Integrated Elements . . . To accomplish this, key planning activities in transportation, urban design, economic development, and land use must be integrated.

2.3 Madison-Miller Neighborhood Master Plan

The key element for improving the Madison-Miller neighborhood **focuses** on the revitalization of the East Madison Business District, extending **from** 16th to 24th Avenues. The goal for this area is to serve both **local** and destination shoppers with a variety of shops and services. The 19th Avenue commercial node stores and restaurants, north of Mercer, will principally serve local residents. The integral components for

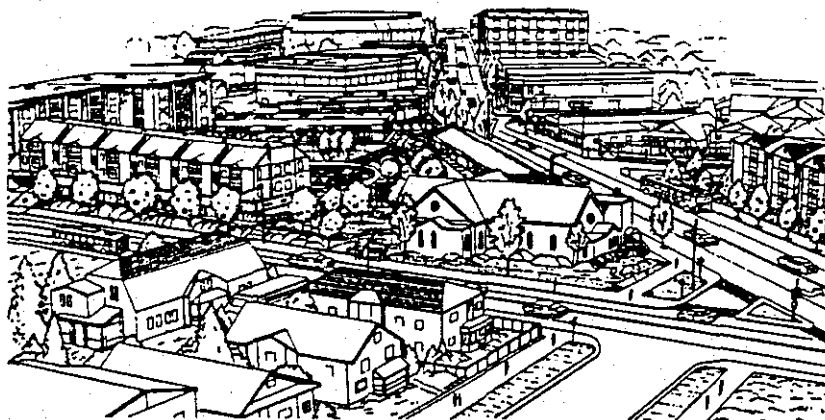


Figure 3
Proposed Development Pattern for Madison-Miller

meeting the community vision includes investing in necessary **streetscape** and street capital improvements to create a pedestrian-oriented character, exploring the potential for an **incentive-based** East Madison “economic opportunity area”, approval of recommended land use and zoning changes, implementation of community-based amenity projects, and reinvigorating an overall sense of community **and** pride of **place** in Madkon-Miller.

Integrated Elements . . . To accomplish this, key planning activities in economic development, land use, **streetscape** and street **capital** improvements, and urban **design/community** identity must be integrated.

2.4 23rd and Jackson and Jackson Place

23rd and Jackson has become the heart of commercial activity in the **Central Area**. Neighborhood **planning** recommendations set out to strengthen this economic node **and** plan for the necessary street improvements, land use and zoning amendments, and desired community amenities to ensure that 23rd and Jackson remains the Central Area’s shopping focal point, and a true “**urban village**”. **Within** this center, planning **recommendations** rdso made every effort to incorporate the concept of the Jackson Place neighborhood as a vital link that **transitions the Central Area to the North Rainier Valley**.

The urban village boundary has been adjusted to incorporate this area. Key to the success of this **diverse** and affordable community **is** the sensitive and compatible development of **the** city-owned Dearborn-Hiawatha properties located in the southwest corner of the neighborhood at the intersection of Rainier Avenue and Dearborn.

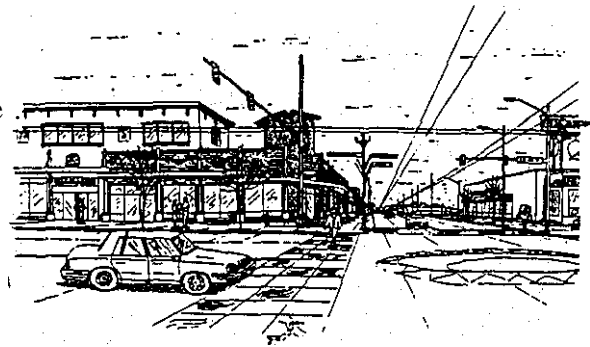


Figure 4
23rd & Jackson- Commercial Shopping Center for the Central Area

Integrated Elements . . . To accomplish this, key planning activities in land use, transportation, human development, and economic development must be integrated.

2.5 23rd and Union- Crossroads of the Central Area

23rd and Union has long been considered **the** hub of the Central Area. Its smaller scale lends itself to less residential and commercial density. The vision for the neighborhood focuses on maintaining the cultural and ethnic diversity of the community. In the future, changes will be made thoughtfully, with respect for the **past**, pride in the **present**, and careful regard for sustainable development **in** the future. East Union Street will be the focus, both in terms **of** transportation systems and in becoming the gathering place for the community. To support this

vision, an integration of **streetscape**, **street** improvement, land **use/zoning** changes, and open space elements **will** need to come together.

Integrated Elements . . . To accomplish this, key planning activities in land use, transportation, and economic development must be **integrated**. **In addition**, incorporation of concepts developed for the Union Street corridor under a separate urban design and **streetscape** study should also be integrated into the development of the vision for this node.

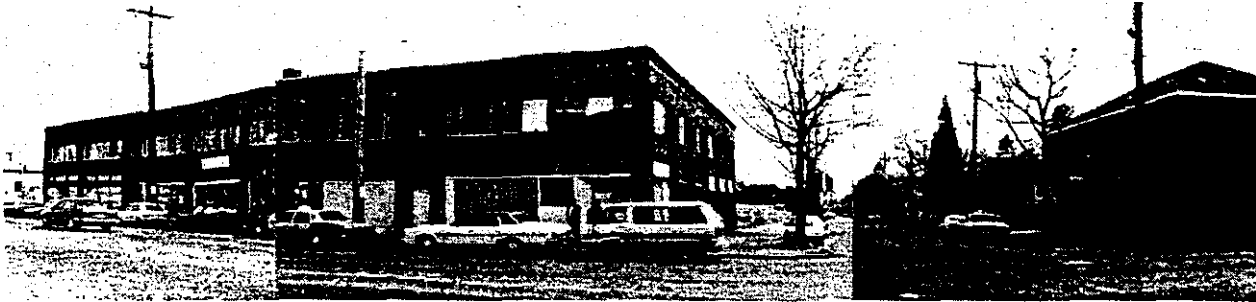


Figure 5

Existing Conditions on Union Street

2.6 23rd Avenue Corridor

The concept of the 23rd Avenue Corridor strives to **link the** Central Area's Hubs of Economic Activity. During neighborhood **planning**, the importance of 23rd Avenue as a transportation corridor and vital link between the heart of the Central Area's economic "niche" neighborhoods became very apparent as part of economic development and urban design discussions. Extending no more than two **miles** between **Madison** and Jackson, **revitalizing** and improving the appearance of the street in those stretches between the commercial hubs and at the hubs themselves stands out as an important key plan activity. The major hubs being **connected**, from north to south, are at 23rd and Madison, Union, and Jackson.

Integrated Elements . . . The transportation, economic development and urban design recommendations all regard the importance of the 23rd Avenue Corridor.

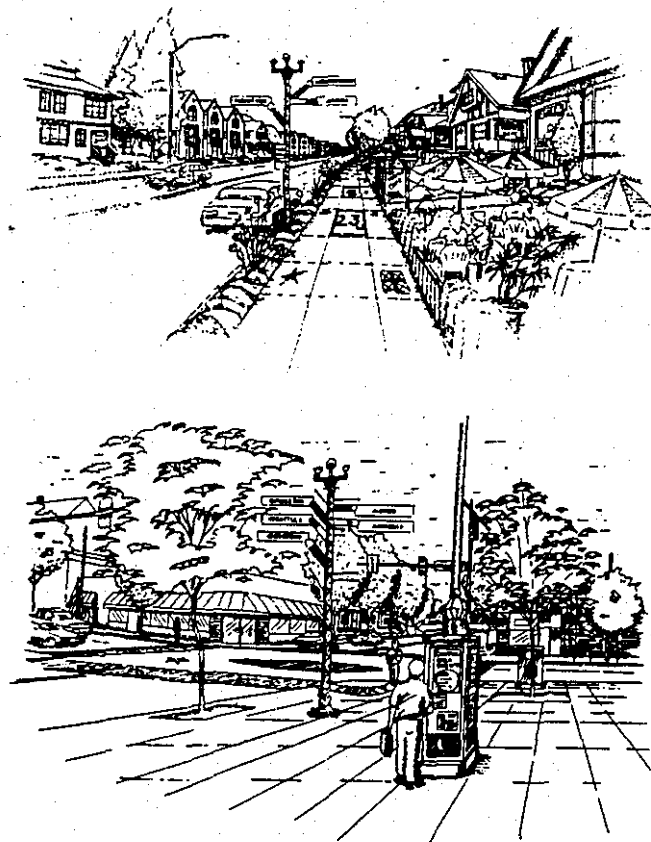


Figure 6

Examples of 23rd Avenue Corridor Proposals

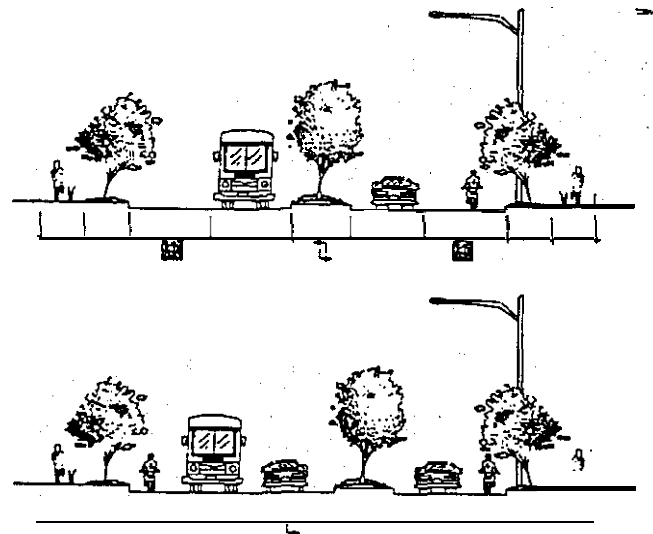
2.7 Central Gateway

Addressing confluence of 12th to 14th, around Boren/Yesler/Jackson/Rainier/Dearborn, represents one of the Plan's chief priorities (refer to Figure 8). This area creates an incoherent mess for motorists, transit, pedestrians, bicyclists and people trying to access the uses in and around this area. Because the "Central Gateway" serves as the meeting point for four urban villages (12th Avenue, First Hill, the International District, and Jackson & 23rd) as well as for the immediate neighborhoods such as Jackson Place, Squire Park, Spruce Park, Yesler Terrace, and Little Saigon, it is an important segment with respect to traffic flow and the physical identity and character of each of these communities. As such, special attention is merited

Integrated Elements . . . Coordinating and integrating transportation, streetscape, and other urban design recommendations are the key elements for the Central Gateway.

2.8 The Boulevard- Improving Martin Luther King, Jr. Way

MLK, Jr. Way connects the Central Area to the Rainier Valley. Its existing streetscape of trees and parks, and unique blend of land uses makes it an important transportation corridor for transit, bicyclists, autos, and pedestrians. The potential exists to create a landscaped boulevard that will create a safer, more attractive arterial for this section of the City of Seattle. Coordination with the adjacent communities, particularly the North Rainier Valley, will reveal a desire to see MLK becoming the boulevard it has long been planned for.

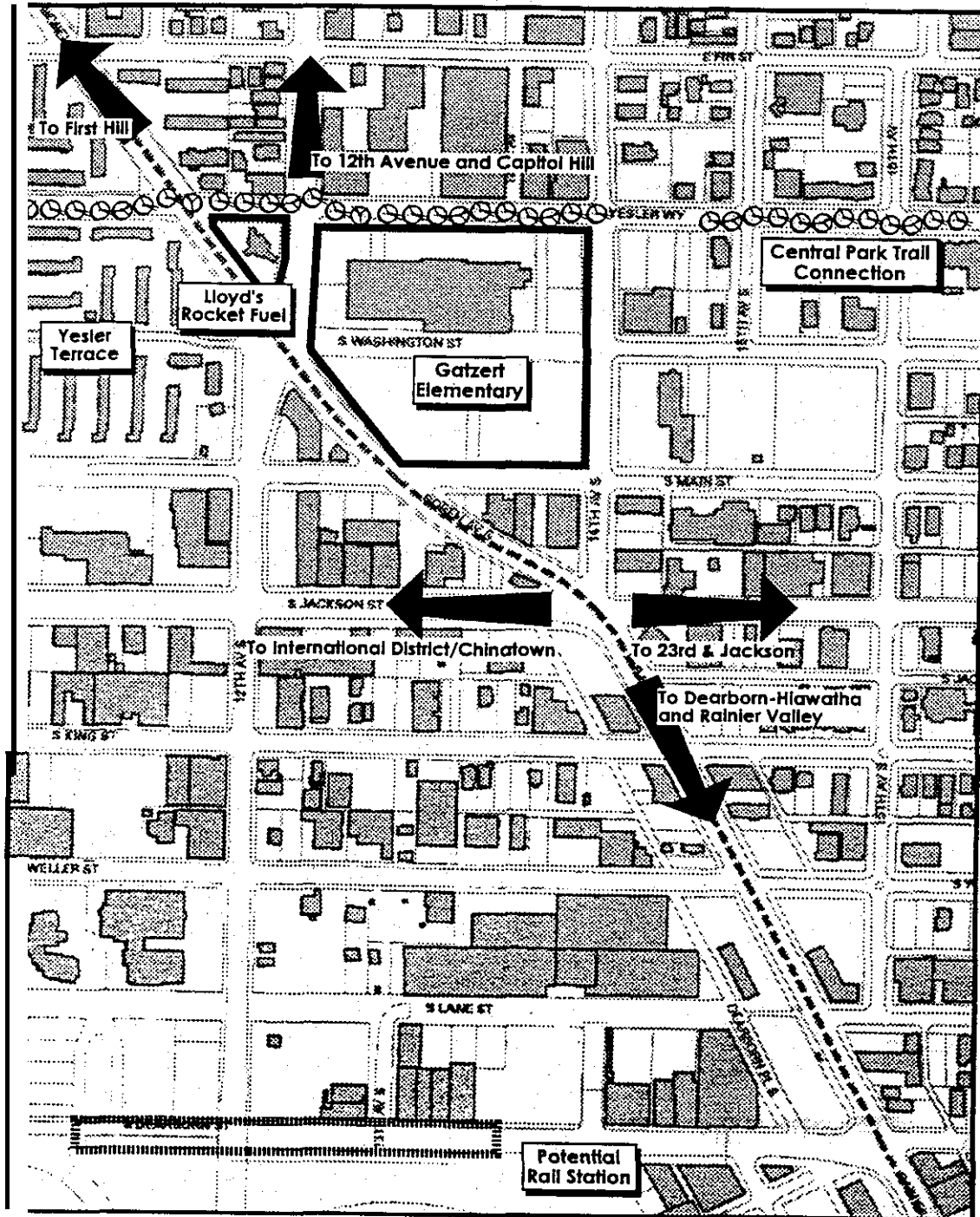


Left Turn at Intersections

Figure 7
Proposed Median for MLK, Jr. Way

2.9 Central Area, East-West Corridors

Jackson, Union and Madison Streets are important major east-west corridors in that they provide the major east-west access in the community. Recommended activities are covered under the respective node descriptions above. Cherry Street and Yesler Way are important secondary east-west corridors in that they support their respective economic hubs at 23rd and Union and 23rd and Jackson. Like other major arterials that serve an east-west function in the Central Area, these two streets will require pedestrian and street improvements to accommodate all modes of transportation.



CENTRAL AREA

ACTION PLAN II

Figure 8
Central Gateway
Proposed Study Area

2.10 Housing- Central Housing Resource Center

Housing in the Central Area has been a focus of community concern for many years. Balancing the desire of the local community to preserve the current fabric and culture of the Central Area -- and a strong urge to resist the forces of **gentrification** -- with its desire to **improve** its housing stock and its general economy is **fraught** with political, racial and cultural **impacts**. While **admitting** that the economic forces at work are beyond **controlling**, the plan pro-actively focuses on strategies to mitigate the pain suffered by existing residents by linking them with more options for assistance, while leveraging economic factors for a better, broader array of housing options that help build a sense of community **pride** and involvement at the same **time** as building the lives of the individuals who inhabit them. As an integrated plan activity, housing recommendations recognize that there are a handful of actions that serve as the **critical** foundation for enhancing housing options, creating opportunities for ownership, and addressing the **gentrification** issue.

2.11 Economic Development- Recapitalizing Central Area Capital Fund Program

“How can the Central Area create a strategic economic action plan that enhances the area’s quality of life and stimulates economic vitality through the development of local jobs and increased business activity?” While economic development planning has covered a **wide range** of ideas, the crux and the very fiber of the plan focuses **around** three primary activities: (1) accessing **capital**, (2) marketing the Central Area and strengthening its **local** economic “**niche**” neighborhoods, and (3) providing job opportunities for the local **workforce**.

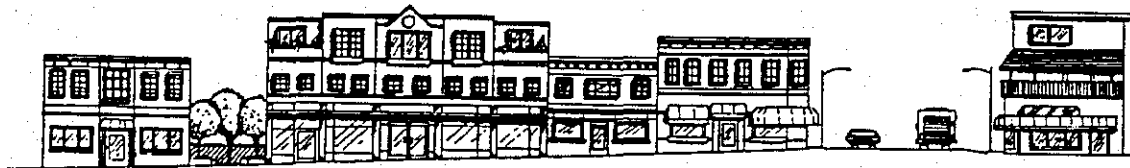


Figure 9

Example of pedestrian-oriented, mixed-use business district envisioned for Central Area

2.12 Human Development- Central Area Health & Social Service Alliance

Planning for **health** and human development encompassed **community** building, education and **employment**, health and social services, and community safety. While each of these are integral to the physical, social, and economic **environment** of the Central Area, the most dominant themes revolved around investing in the future of area youth and building a community **alliance** that addresses social, health, and human service needs.